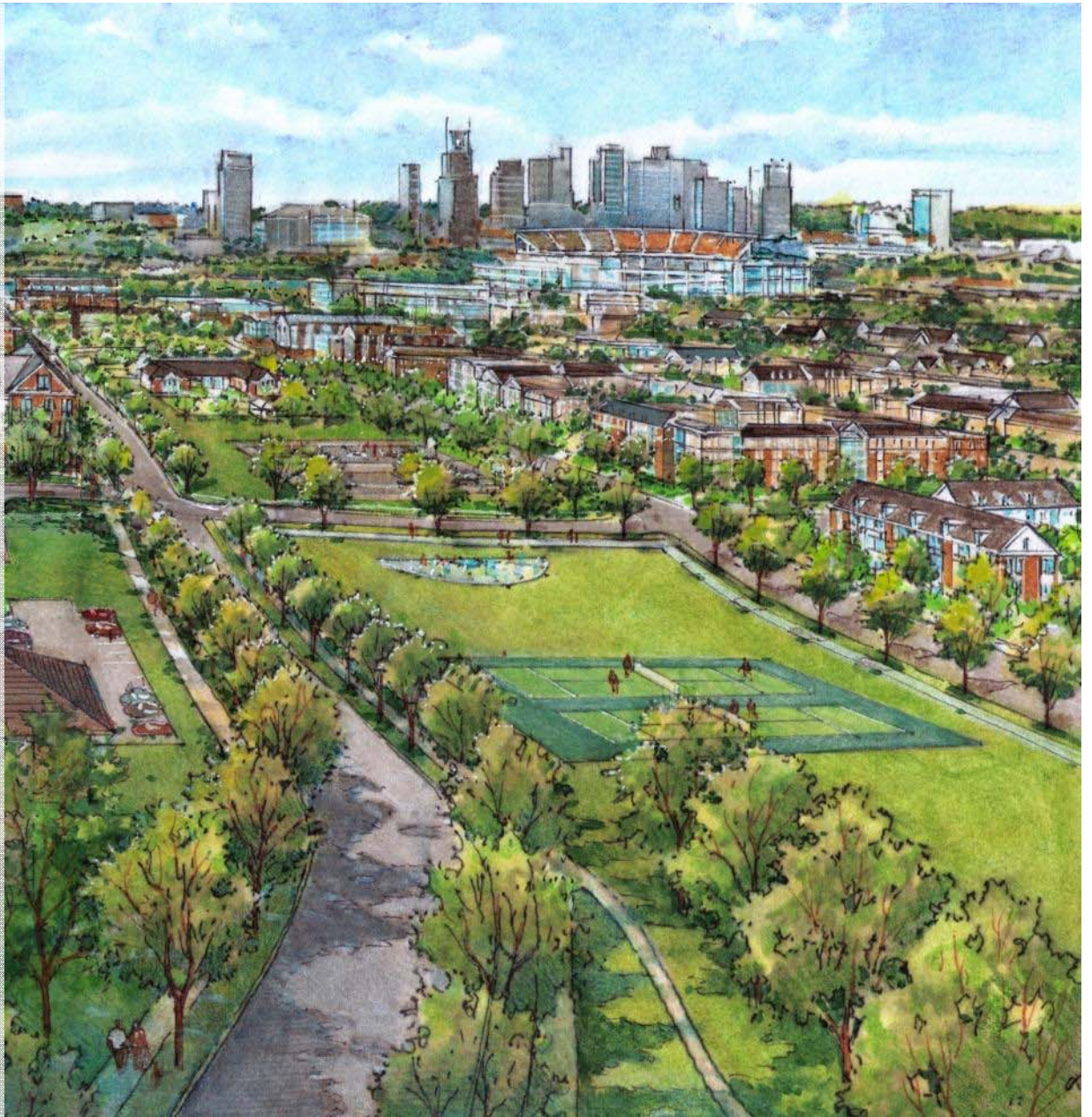


ENVISION CAYCE

Meeting

August 18, 2016





CORNERSTONES

Community

The proposed redevelopment plan for Cayce Place envisions a vibrant, mixed-income, mixed-use walkable community that provides social, economic and physical benefit to all residents-existing and now. The vision is to build a community that encourages neighbors to bond, enhances the quality of life and instills an intangible sense of belonging and community pride in residents.

Sustainability

The plan should incorporate sustainable principles in all aspects of physical design and community culture creating long term physical, social and economic value for all. To exemplify this commitment, the project is registered with the United States Green Building Council to certify the project as a LEED certified Neighborhood Development. The regulations within this document were tailored specifically to address the required criteria needed for LEED ND certification.

Built Environment

The building forms provided throughout Cayce should provide a mix of architectural styles, housing options and should display an urban character that meets or exceeds the recommendations within this document. Buildings generally should be "true" to their individual style and should be reflective of the character found throughout East Nashville. Traditional styles may be provided when the surrounding context is more traditional in form; elsewhere, more contemporary styles may be appropriate to represent the current market conditions. Development in areas that transition to the greater community shall complement the communities architectural vernacular and character.

The overall scale of buildings within each district plays a key role in attracting residents, industry, pedestrians and activity within the community. Special consideration should be provided on details on the ground floor of all buildings to enrich the pedestrian experience and the most active portions of the structure providing an architecturally distinguished building product for the community.

Public Realm

The design of the public realm within Cayce Place is perhaps the most fundamental priority in creating a successful community. The balance of community services, recreation and creating a "sense of place" is paramount to the success of the development. From the world class new central park to the extensive bike and pedestrian network, the interconnected park network will create opportunities for all age levels and will provide a valuable asset.

The successful implementation of these strategies will result in the creation of a community that provides a lasting legacy for generations to come.



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SUBDISTRICTS

Due to the diverse character in the Cayce Place Redevelopment District, four subdistricts have been identified. The identification of each subdistrict is based on the following key factors:

- +The community vision (Envision Cayce);
- +The proposed development pattern;
- +The proposed building types;
- +The context of the surrounding communities;
- +The existing and potential real estate market;

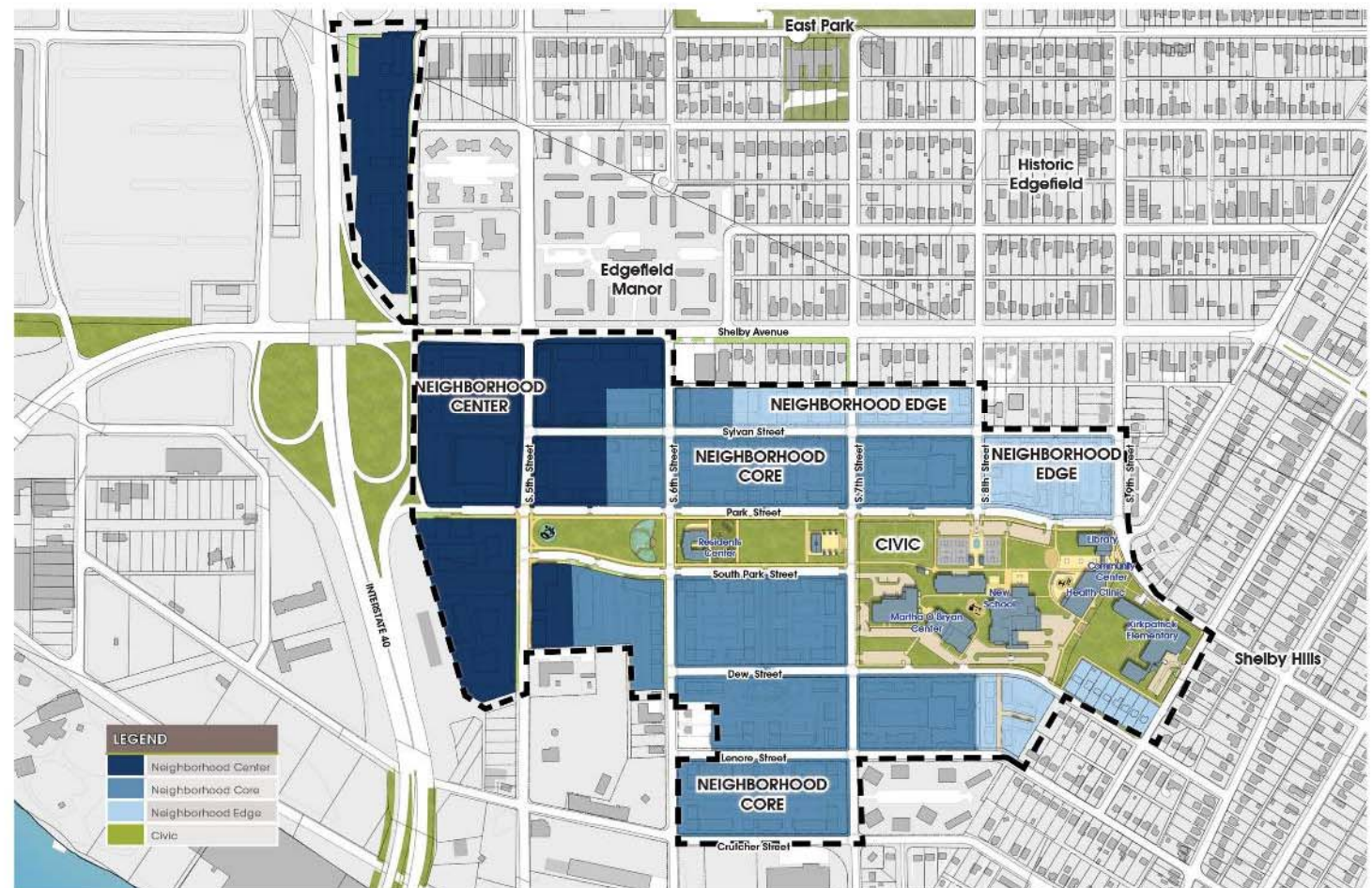
Sub Districts:

Neighborhood Center

Neighborhood Core

Neighborhood Edge

Civic



NEIGHBORHOOD CENTER SUBDISTRICT A



SETBACK / BUILD-TO

- A Commercial / Mixed-use Build-to-zone** 0 - 5 feet
- Exceptions may be made for outdoor dining areas upon review by the Design Review Committee.
- B Residential Build-to-zone** 5 - 10 feet
- Upper floor encroachments may extend to property line; a Mandatory Referral request is necessary for upper floor encroachments that extend within the public R.O.W.
- C** Porches or stoops may encroach to within 3 ft. of the property line (steps may extend to property line).
- Side Setback** 0 feet
- Rear Setback** 0 feet
- D Minimum Building Separation (where pedestrian access is provided)** 12 feet
- Side porch/stoop entries and upper floor architectural elements, lighting and signage may encroach within this area.

LOT FRONTAGE

- E Commercial / Mixed-use Residential** 90% min. 80% min.
- Access drives, open spaces, pedestrian passages and dining areas are excluded from this calculation.

HEIGHT

- G Subdistrict General** 6 stories within 90 feet max.
- H Interstate Blocks** 12 stories within 174 feet max.
- All** 4 stories min.
- "Interstate Blocks" are defined as property West of South 5th Street.
 - Buildings including grocery use may be reduced to 2 stories along the primary street frontage.

MINIMUM FLOOR TO FLOOR HEIGHT

- Ground Floor Commercial** 15 feet
- Ground Floor Residential** 11 feet
- Mezzanines shall not be considered a story for the purposes of calculating overall # of stories.
- K Min. Step-back Depth (if required)** 15 feet
- Step-back between** 4th and 7th floors
- Buildings 7 stories or more are required to provide upper floor step-back
 - Horizontal step-back to begin from minimum build-to-zone measurement
- * See glossary for additional Height requirements

MASSING & FACADES

- If the project has ground floor dwelling units then 50% of those units should have an elevated floor height at front building placement of 24 inches minimum. All remaining units should have a minimum raised foundation of 18 inches with the exception of required accessible units, visitable units and topographically challenged units.
- Mixed use and commercial buildings are encouraged to provide a functional entry onto the street/sidewalk network or other public space at frequent intervals to promote activity at the street level.
- Residential buildings are encouraged to provide porches and stoops with direct access to the public sidewalk for ground level units.
- For building facades fronting streets and open spaces, the width of any unbroken facade shall not exceed 30 feet in width. Pilasters, building wall recesses or projections, and/or variations in materials and color shall be used to achieve this massing standard.
- Porches should be a minimum of 8 feet in depth (6 ft. minimum is acceptable in constrained conditions).
- Stoops should be a minimum of 4 feet in depth and 5 feet in width.

GLAZING

- L COMMERCIAL GROUND - grade to 10 foot** 50%
- COMMERCIAL UPPER - floor to floor** 35%
- RESIDENTIAL - floor to floor** 20%
- MAX. COMMERCIAL SILL HEIGHT** 3 feet
- MIN. COMMERCIAL HEAD HEIGHT** 8 feet
- Commercial ground floor glazing should be as clear as possible per building codes and should not be reflective or tinted to a point that restricts visibility into the building.
 - Any ground level commercial use facing a public street frontage or public space must be kept visible (unshuttered) at night.

ROOF FORMS

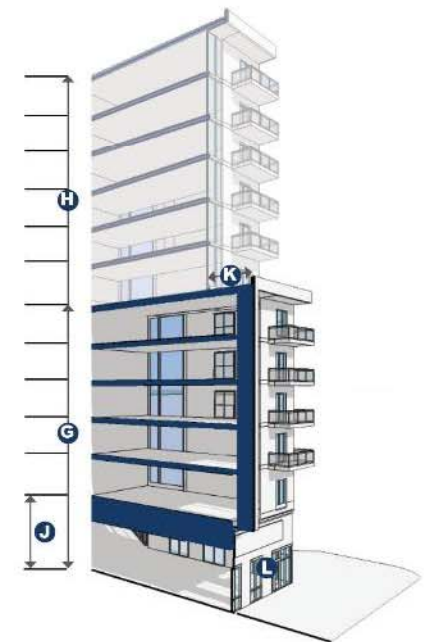
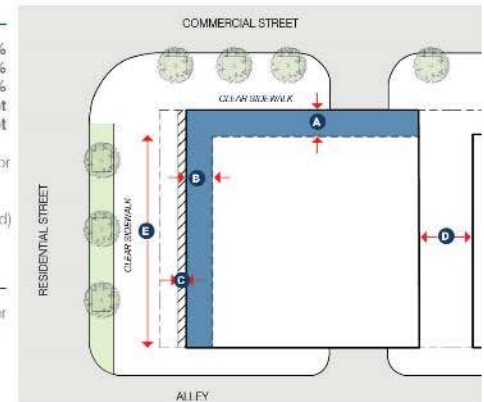
- The maximum slope of any roof form should be no greater than a 12:12 pitch; the DRC may consider steeper forms upon review.
- Traditional sloped roof forms may contain conditioned space and shall not be considered a "story" for the purposes of calculating maximum number of stories.
- Dormers shall be kept modest in scale, size and number. They may be hipped, gabled, shed or have full cornices, however careful attention to historic precedent, proportions and details are critical with each. Shed roof forms may be appropriate but shall avoid shallow roof slopes (less than 4:12 pitch) and should not cover a majority of the roof.
- Exposed Butler buildings are not permitted.

MATERIALS

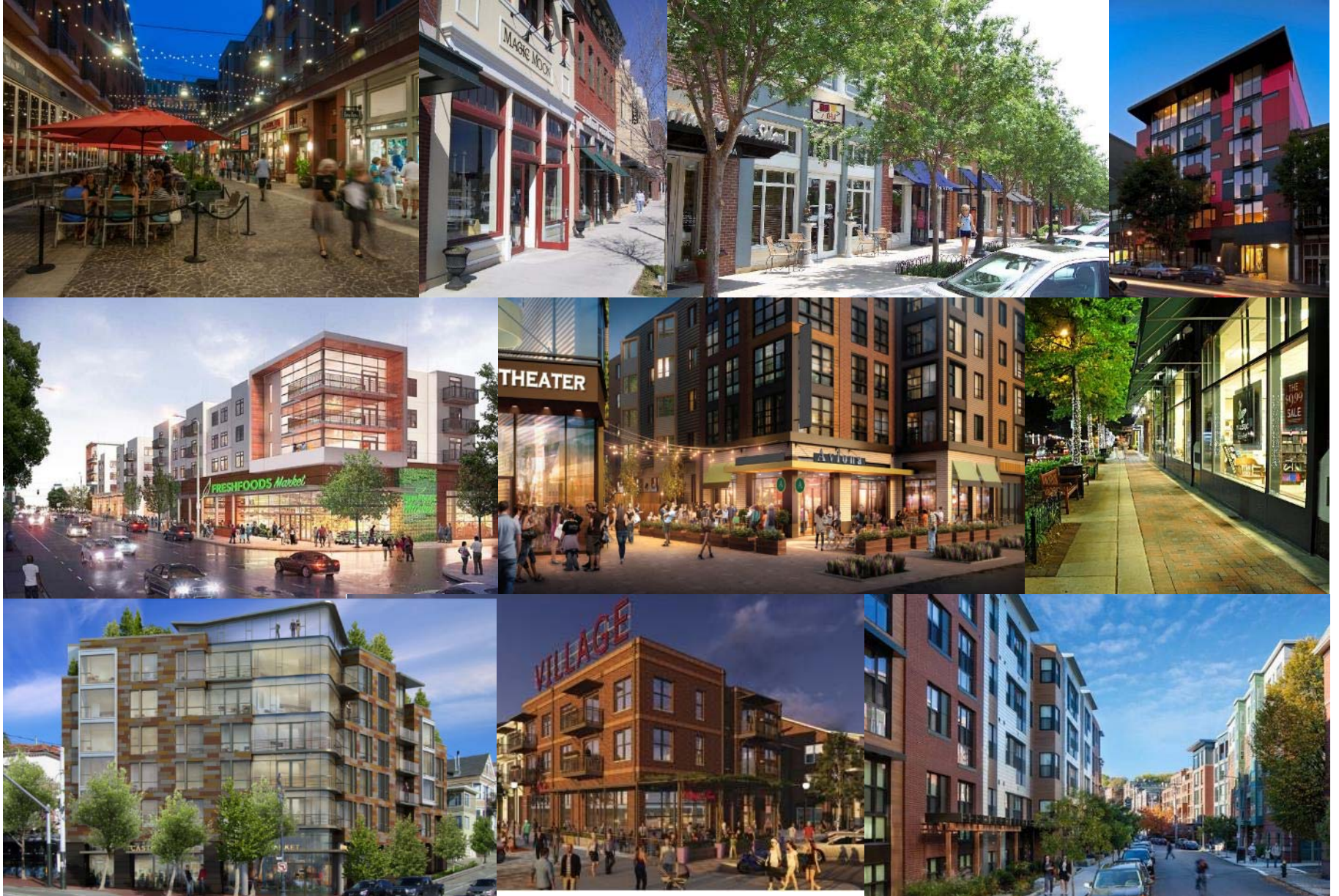
- Vinyl siding is not permitted; Vinyl soffits may be acceptable if approved by the Design Review Committee.
- EIFS is only allowed on the third floor and above on any non-street / open space facing building facade.
- The DRC must review and approve all building materials and applications.
- All shutters whether operable or not shall be mounted on hinges with shutter dogs on the bottom rail and should be mounted as to appear operable.

ACCESS & PARKING

- On-street parking should be provided on both sides of every street where permitted by Metro (additional R.O.W. may be required).
- Parking shall not be permitted between a street and a building. Side yard parking shall be limited to one parking bay and aisle perpendicular to the street (42' max. pavement width). side yard parking shall be set back a min. of 20' back from street right of way. Off-street parking is encouraged to be located in the rear/interior of the project and limited to 20% of the total development footprint.
- Driveway curb-cuts should be kept as narrow as possible; where truck access is required, curb-cut access shall not exceed 30 feet in width.



Neighborhood CENTER



NEIGHBORHOOD CORE SUBDISTRICT B



SETBACK / BUILD-TO

- A Commercial / Mixed-use Build-to-zone** 0 - 5 feet
- Exceptions may be made for outdoor dining areas provided that they are limited to 10 feet in depth.
- B Residential Build-to-zone** 5 - 15 feet
- Upper floor encroachments may extend to property line; a Mandatory Referral request is necessary for upper floor encroachments that extend within the public R.O.W.
- C**
- Porches or stoops may encroach to within 3 ft. of the property line (steps may extend to property line).
- Side Setback** 0 feet
- Rear Setback** 0 feet
- D Minimum Building Separation (where pedestrian access is provided)** 12 feet
- Side porch/stoop entries and upper floor architectural elements, lighting and signage may encroach this area.

LOT FRONTAGE

- E Park Street Frontage** 75% min.
General 60% min.
- Access drives, open spaces, pedestrian passages and dining areas are excluded from this calculation.

HEIGHT

- G Subdistrict General** 4 stories within 60 feet max.
2 stories min.

MINIMUM FLOOR TO FLOOR HEIGHT

- H Ground Floor Commercial** 15 feet
Ground Floor Residential 11 feet
- Mezzanines shall not be considered a story for the purposes of calculating overall # of stories.

* See glossary for additional Height requirements

MASSING & FACADES

- If the project has ground floor dwelling units then 50% of those units should have an elevated floor height at front building placement of 24 inches minimum. All remaining units should have a minimum raised foundation of 18 inches with the exception of required accessible units, visitable units and topographically challenged units.
- Mixed use and commercial buildings are encouraged to provide a functional entry onto the street/sidewalk network or other public space at frequent intervals to promote activity at the street level.
- Residential buildings are encouraged to provide porches and stoops with direct access to the public sidewalk for ground level units.
- For building facades fronting streets and open spaces, the width of any unbroken facade shall not exceed 30 feet in width. Pilasters, building wall recesses or projections, and/or variations in materials and color shall be used to achieve this massing standard.
- Porches should be a minimum of 8 feet in depth (6 ft. minimum is acceptable in constrained conditions).
- Stoops should be a minimum of 4 feet in depth and 5 feet in width.

GLAZING

- COMMERCIAL GROUND** - grade to 10 feet 50%
ALL - floor to floor 20%
MAX. COMMERCIAL SILL HEIGHT 3 feet
MIN. COMMERCIAL HEAD HEIGHT 8 feet

- Commercial ground floor glazing should be clear as possible per building codes and should not be reflective or tinted to a point that restricts visibility into the building.
- Any ground level commercial use facing a public street frontage or public space must be kept visible (unshuttered) at night.

ROOF FORMS

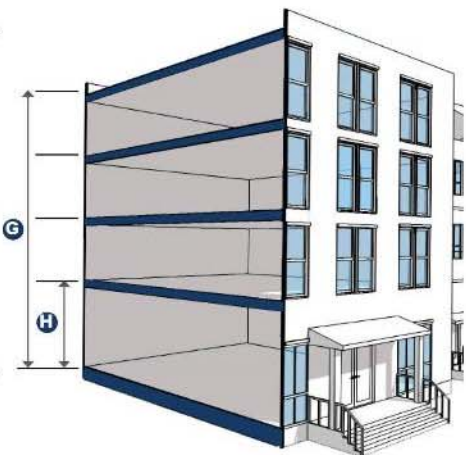
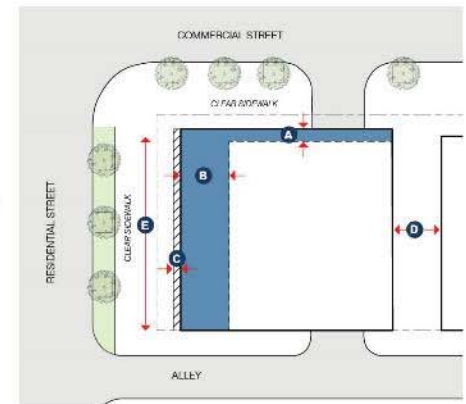
- The maximum slope of any roof form should be no greater than a 12:12 pitch; the DRC may consider steeper forms upon review.
- Traditional sloped roof forms may contain conditioned space and shall not be considered a "story" for the purposes of calculating maximum number of stories.
- Dormers shall be kept modest in scale, size and number. They may be hipped, gabled, shed or have full cornices, however careful attention to historic precedent, proportions and details are critical with each. Shed roof forms may be appropriate but shall avoid shallow roof slopes (less than 4:12 pitch) and should not cover a majority of the roof.
- Exposed Butler buildings are not permitted.

MATERIALS

- Vinyl siding is not permitted; Vinyl soffits may be acceptable if approved by the Design Review Committee.
- EIFS is only allowed on the third floor and above on any non-street / open space facing building facade.
- The DRC must review and approve all building materials and applications.
- All shutters whether operable or not shall be mounted on hinges with shutter dogs on the bottom rail and should be mounted as to appear operable.

ACCESS & PARKING

- On-street parking should be provided on both sides of every street where permitted by Metro (additional R.O.W. may be required).
- Parking shall not be permitted between a street and a building. Side yard parking shall be limited to one parking bay and aisle perpendicular to the street (42' max. pavement width); side yard parking shall be set back a min. of 20' back from street right of way. Off-street parking is encouraged to be located in the rear/interior of the project and limited to 20% of the total development footprint.
- Driveway curb-cuts should be kept as narrow as possible; where truck access is required, curb-cut access shall not exceed 30 feet in width.
- Parking lots shall be screened along all public streets by 2-1/2' - 3' year round visually impervious screen.



Neighborhood CORE



NEIGHBORHOOD EDGE SUBDISTRICT C



SETBACK / BUILD-TO

- A Residential Build-to-zone** **5 - 20 feet**
- Upper floor encroachments may extend to property line; a Mandatory Referral request is necessary for upper floor encroachments that extend within the public R.O.W.
- B** Porches or stoops may encroach to within 3 ft. of the property line (steps may extend to property line).
- Side Setback** **0 feet**
Rear Setback **0 feet**
- C Minimum Building Separation (where pedestrian access is provided)** **12 feet**
- Side porch/stoop entries and upper floor architectural elements, lighting and signage may encroach this area.

LOT FRONTAGE

- D General** **60% min.**
- Access drives, open spaces, pedestrian passages and outdoor dining areas are excluded from this calculation.

HEIGHT

- E Subdistrict General** **3 stories within 45 feet max.**
All **2 stories min.**
- Properties fronting South 9th Street and properties directly abutting Sholby Hills between Dow and Lenore Streets shall be limited to 2 stories within 26 ft. max.
 - Properties between Sholby and Sylvan streets shall limit height to 2 stories within 26 ft. max measured from the midpoint of the block between Sylvan Street and the shared alley (#268).

F MINIMUM FLOOR TO FLOOR HEIGHT

- Ground Floor Residential** **11 feet**
- Mezzanines shall not be considered a story for the purposes of calculating overall # of stories.
- * See glossary for additional Height requirements

MASSING & FACADES

- If the project has ground floor dwelling units then 50% of those units should have an elevated floor height at front building placement of 24 inches minimum. All remaining units should have a minimum raised foundation of 18 inches with the exception of required accessible units, visitable units and topographically challenged units.
- Mixed use and commercial buildings are encouraged to provide a functional entry onto the street/sidewalk network or other public space at frequent intervals to promote activity at the street level.
- Residential buildings are encouraged to provide porches and stoops with direct access to the public sidewalk for ground level units.
- For building facades fronting streets and open spaces, the width of any unbroken facade shall not exceed 30 feet in width. Plasters, building wall recesses or projections, and/or variations in materials and color shall be used to achieve this massing standard.
- Porches should be a minimum of 8 feet in depth (6 ft. minimum is acceptable in constrained conditions).
- Stoops should be a minimum of 4 feet in depth and 5 feet in width.

GLAZING

- ALL - floor to floor** **20%**

ROOF FORMS

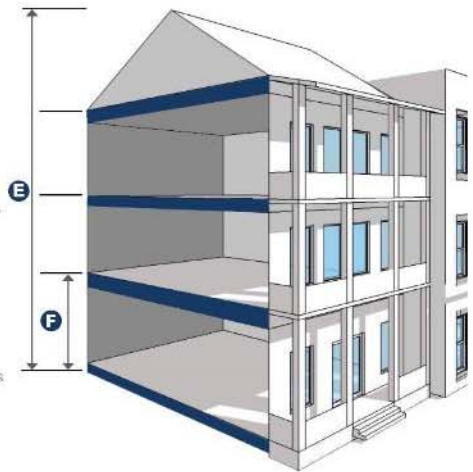
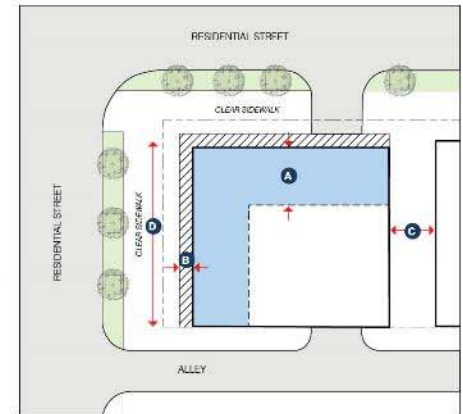
- The maximum slope of any roof form should be no greater than a 12:12 pitch; the DRC may consider steeper forms upon review.
- Traditional sloped roof forms may contain conditioned space and shall not be considered a "story" for the purposes of calculating maximum number of stories.
- Dormers shall be kept modest in scale, size and number. They may be hipped, gabled, shed or have full cornices, however careful attention to historic precedent, proportions and details are critical with each. Shed roof forms may be appropriate but shall avoid shallow roof slopes (less than 4:12 pitch) and should not cover a majority of the roof.
- Exposed Butler buildings are not permitted.

MATERIALS

- Vinyl siding is prohibited; Vinyl soffits may be acceptable if approved by the Design Review Committee.
- EIFS is only allowed on the third floor and above on any non-street / open space facing building facade.
- The DRC must review and approve all building materials and applications.
- All shutters whether operable or not shall be mounted on hinges with shutter dogs on the bottom rail and should be mounted as to appear operable.

ACCESS & PARKING

- On-street parking should be provided on both sides of every street where permitted by Metro (additional R.O.W. may be required).
- Parking shall not be permitted between a street and a building. Side yard parking shall be limited to one parking bay and aisle perpendicular to the street (42' max. pavement width), side yard parking shall be set back a min. of 20' back from street right of way. Off-street parking is encouraged to be located in the rear/interior of the project and limited to 20% of the total development footprint.
- Driveway curb-cuts should be kept as narrow as possible; where truck access is required, curb-cut access shall not exceed 30 feet in width.
- Parking lots shall be screened along all public streets by 2-1/2' - 3' year round visually impervious screen.
- Cross access and shared parking between rear parking lots is encouraged.
- Internal driveways to parking access areas shall not be permitted within 80' of any street intersection and must be located between two building structures (not openly visible to streets or open spaces).



Neighborhood **EDGE**



CIVIC SUBDISTRICT D



GENERAL

Institutional buildings will be the focal points of the community and their placement and detailing should reflect their prominence within the community. Special attention should be put into the detailing of architectural features and portions of the building facing public view such as terminating street vistas, open spaces and public streets.

Setbacks for civic buildings will vary; some buildings may be built to the back of sidewalk for an urban experience while others may be setback substantially within the site in a more prominent position. The DRC shall review the building placement of civic structures to ensure the intent of the Envision Cayce Master Plan is met.

HEIGHT

Sub-district General 3 stories within 50 feet max.

GLAZING

ALL FLOORS- floor to floor 35%



YES

MATERIALS

- Vinyl siding is prohibited; Vinyl soffits may be acceptable if approved by the Design Review Committee.
- EIFS is only allowed on the third floor and above on any non-street / open space facing building façade.
- All shutters whether operable or not shall be mounted on hinges with shutter dogs on the bottom rail and should be mounted as to appear operable.
- The DRC must review and approve all building materials and applications.

ACCESS & PARKING

- On-street parking should be provided on both sides of every street where permitted by Metro (additional R.O.W may be required)
- Off-street parking is encouraged to be located in the rear/interior of the project and limited to 20% of the total development footprint.
- Driveway curb-cuts should be kept as narrow as possible; where truck access is required, curb-cut access shall not exceed 30 feet in width.
- Parking lots shall be screened along all public streets by 2'-1/2' - 3' year round visually impervious screen.
- Cross access and shared parking between rear parking lots is encouraged.
- Internal driveways to parking access areas shall not be permitted within 80' of any street intersection and must be located between two building structures (not openly visible to streets or open spaces).
- Generally, parking should be provided within surface lots. When provided, parking structures shall not front any street frontage or open space on the ground floor; structures shall be located behind a liner building or internal to the development.



YES



YES



YES



NO



NO



NO

CIVIC



SIGNAGE GUIDELINES

Quality signage has a significant impact on the character and perception of the community. Signage provided throughout Cayce Place should convey a sense of uniformity, quality and style.

DESIGN

- Signs shall be of high quality design and craftsmanship.
- Wood and metal are preferred materials. Signs using wood should only use high quality exterior wood with suitable finishes.
- Plastic and similar synthetic materials are discouraged.
- Sign colors and style should be compatible with the building facade.
- A dull or matte finish is encouraged to reduce glare and enhance legibility.
- Signs shall not obscure key architectural features.
- Awning signs are appropriate. However, the size of the letters/graphics should be limited and graphics limited to one per awning face.
- Awning signs are not permitted above the 3rd story finished floor of any building.
- Signs shall be limited to on-premise signs related to the use of business conducted on the same site.
- Marquee type signs for announcements of activities taking place at the location are prohibited, (exceptions: institutional uses).
- Projecting signs shall be limited to below the fourth floor finished floor height and shall not extend above any roof parapet.
- Sidewalk or "Sandwich board" signs may be provided so long as they do not obscure the pedestrian pathway, vehicular traffic or sight lines to adjacent roadways.
- Mechanical raceways shall be finished to match the background wall or be integrated into the overall design of the sign.
- High quality hand painted signs are permitted.
- No billboards or general advertising signs other than the primary use of the building may be provided.
- High quality permanent window painted signs are permitted.
- Multiple uses on a property may share a sign, but collectively shall not exceed the area allowed per any individual sign.
- Temporary signs shall be limited in size to 9 ft. and displayed for a maximum of 14 days.
- A sign extending more than 18 inches from building facade must maintain vertical clearance from ground a minimum of 10 feet. Signs that encroach within the public R.O.W. must be approved through Metro's Mandatory Referral Process.

SIGN ILLUMINATION

- Signs shall be either spotlighted, externally lit, or back lit with a diffused light source.
- External illumination: Light sources shall be directed towards sign minimizing glare to the sidewalk or adjacent properties.
- Internal illumination: Signs may be internally illuminated but the sign background must be opaque with only graphic, text or logos being illuminated.
- Spot lighting should completely shield all light sources; light should be contained primarily within the sign frame.
- Awning signs shall only be externally lit from above.
- Neon signs are permitted.

GROUND SIGNS

- Ground signs shall be limited to one per property for each street frontage and shall not exceed 24 square feet.
- Signs shall include a masonry base; base and sign shall not exceed 4 feet in total height.
- Signs shall be located on private property and shall not obscure the view of any vehicular travelway.

PERMITTED SIGNS

- Wall mounted or painted
- Window
- Awning
- Canopy
- Projecting
- Sidewalk Signs

TOTAL

SIGN ALLOTMENT = 1.5 square foot per 1 linear foot
The total sign area may be allocated to any sign type but shall not exceed the building's sign area.

- Sign allotment is available to each building; multiple tenant spaces within a building shall share the total sign allotment.

PROHIBITED SIGNS

- Changeable Copy Signs
- Pole Signs
- Billboards
- Flashing or sequential signage
- Bare bulb lighted signs
- Skyline Signs (may be considered by DRC with proper design considerations)



SUSTAINABILITY





LEED® for Neighborhood Development

Total Possible Points 110***

 Smart Location & Linkage	27
 Neighborhood Pattern & Design	44
 Green Infrastructure & Buildings	29

* Out of a possible 100 points + 10 bonus points

** Certified 40+ points, Silver 50+ points,
Gold 60+ points, Platinum 80+ points

 Innovation & Design Process	6
 Regional Priority Credit	4

USGBC

- Project Registered with USGBC
- LEED ND principles will be integrated within Design Guidelines
- Imbedded within all aspects of physical design and community culture
- Long term physical, social and economic value for all residents



SITE GUIDELINES

OPEN SPACE

Open space is very important in urban areas because of its scarcity. In addition to providing relief from the urban hardscape, natural open space provides valuable outdoor amenity space for exercise, protects waterways from erosion and runoff, and increases the urban tree canopy. In particular, natural features such as mature trees that provide urban tree canopy should be preserved and enhanced.

GUIDELINES

- Open space should be provided in each subdistrict and should complement subdistrict character.
- Open space concepts to be designed to support the architectural concept to ensure that interior and exterior spaces relate well to one another and support the functions of the development.
- Open spaces are to be designed to contribute to a broader network of open spaces throughout the development. Open space includes sidewalks, alleys, streets and circulation routes.
- Incorporate features such as courtyards, plazas and place-making elements such as trees, landscape and public art.
- Include features in open spaces for activities beyond daylight hours and throughout the seasons of the year.
- Design common open spaces for use by all residents to encourage physical activity and social interaction.
- The size, available activities, and features of each open space should meet the needs of expected users, ensuring each space has a purpose and function.
- Subdistrict open spaces should connect with, or enhance, the uses and activities of other nearby public open space where appropriate. Look for opportunities to support uses and activities on adjacent properties and/or the sidewalk.
- Each subdistrict should provide safe pedestrian connections to the shared Civic open space subdistrict.
- Outdoor recreation facilities to be located within 1/5 mile walking distance of new dwellings.
-



Multi-use fields provide opportunities for active and passive recreation.



Generously sized plazas, lush plantings, a variety of paving materials, water features and seating greatly encourage year round activity.



Outdoor fitness equipment provides opportunities for exercise.



Mature trees are preserved and made a significant feature of the open space.

SITE GUIDELINES

HARDSCAPE

Durable and slip resistant paving materials are to be used in all conditions. Use pervious and recycled materials whenever possible to reduce site stormwater runoff.

GUIDELINES

Vehicular Pavement:

- Parking- Pervious materials such as porous concrete and pervious pavers are encouraged for all interior parking stalls.
- Crosswalks- Should be made up of contrasting or textured surfaces that stand out from the street surface. Stamped asphalt is prohibited.

Pedestrian Pavement:

- Sidewalks within Public R.O.W. should be constructed as broom finished concrete. The use of concrete stain is prohibited.
- Multi-use paths- Should be constructed with integrally colored concrete with a lightly exposed aggregate finish.
- Cycle Tracks- Should be constructed with integrally colored concrete with an lightly exposed aggregate finish to match completed cycle tracks in Nashville.
- Sidewalks within Cayce Place - Should be constructed with a combination of concrete pavers, integrally colored concrete with a lightly exposed aggregate and broom finished concrete. The use of concrete stain is prohibited.
- Steps- Materials to be compatible with adjacent sidewalk materials.
- Plazas and outdoor gathering areas should have higher levels of pavement detail and visual interest than pedestrian paths and sidewalks.



Cycle track is clearly defined through the change of hardscape materials.



Pervious pavers are used in parking stalls to reduce site stormwater runoff.



Concrete pavers are used at crosswalks to provide visual cues for vehicles.



Different materials are used in plazas and outdoor gathering areas to provide interest.

SITE GUIDELINES

ENCLOSURES AND LANDSCAPE SCREENING

Mechanical equipment, trash enclosures and utilities should be provided with architectural enclosures or fencing, sited in unobtrusive locations, and screened by landscaping. Screens may be composed of shrubs, trees, berms and/or walls.

GUIDELINES:

Location:

- Enclosures should be located away from public view.
- Enclosures should be located away from adjacent parcels to minimize noise and odor impacts.
- Ground level mechanical equipment should be screened with an enclosure or structure incorporated into the adjacent architecture.
- Dumpsters and trash bins should be concealed from view to the greatest extent possible. Access to these areas should be minimized and arranged so that maneuvering is avoided on public streets.

Height:

- Fence or wall at least 6' in height for screening.

Materials:

- Enclosures should be constructed of durable materials and the color, texture, and architectural detailing shall be compatible with the building architecture.
- Electrical receptacles should be placed on a concrete pad.
- Landscaping should be provided around enclosures to soften views wherever possible. Any plants used in screening should be chosen based on their hardiness and ability to provide a year-round visual barrier.



Mechanical and dumpster enclosure made of durable materials.



Trash bins should be concealed from view through the use of enclosures constructed of durable materials.

SITE GUIDELINES

SITE FURNITURE

Site Furniture such as seating, tables, trash receptacles, recycling receptacles, bike racks, bollards and planters is an important component for Cayce Place. These elements not only serve specific functions but also help to visually unify the development by creating a "vocabulary" of complementary furnishing styles. Site furniture also allows for social gathering on many levels; from 1-2 people to larger groups. It is important that the site furniture have a unifying aspect to it and be consistent in scale, proportion, and appearance. Site furnishings shall be placed and arranged in a manner to support the pedestrian circulation, building entry points, patios, etc. The color of site furniture shall be consistent and cohesive within Cayce Place.

GUIDELINES

- Provide access for people of all abilities. Comply with current ADA Accessibility Guidelines (ADAAG).
- Consider the limitations and needs of persons with disabilities to minimize potential obstructions and hazards.
- Reduce life-cycle costs by utilizing high quality products that are durable, backed by a solid warranty by reputable vendors.
- Positioning of site furniture shall not hinder pedestrian or bicycle traffic flow and shall be situated to avoid damage by landscape maintenance equipment, such as lawn mowers and string trimmers. Locate in a comfortable setting protected from vehicles.
- Powdercoated metal is preferred for durability.
- Locate and anchor to pavement.
- Moveable, freestanding furniture should be considered in courtyards, atriums or places that can be secured. They should not be considered in public or unsecured areas.
- Consider umbrellas for shade where ever appropriate. Umbrellas should be permanently anchored to table; tables with umbrellas should be anchored to the ground.
- Paving in and around benches and trash receptacles should be compatible with the design and material of the adjoining pedestrian paving and shall extend completely under the furnishing to avoid plant maintenance.
- Benches and chairs to be placed so that its face is 1'-6" from edge of all walks.

- Provide users with choice of sitting in the sun or in the shade.
- Trash receptacles to be placed so that their fronts are 12" back from walks.
- Trash receptacles shall be placed where pedestrian activity warrants their use, such as building entrances, waiting areas, plazas or other pedestrian nodes. Those receptacles located in seating areas should be an adequate distance from benches to minimize the effect of trash odors and insects on bench users.
- Trash receptacles should have removable inserts to dump trash.
- Bollards are to be used in Cayce Place to control vehicular, bicycle and pedestrian traffic.
- Bicycle parking shall be provided to meet Metro Bike Parking requirements.
- Site furnishings for transit stops should complement subdistrict furnishings.
- Newspaper boxes are prohibited.



Well located site furnishings help to provide refuge for users.



Bollards help to separate vehicular and pedestrian traffic.



Durable and aesthetically pleasing site furnishings.



Bicycle parking shall be provided to meet Metro Bike Parking requirements.

SITE GUIDELINES

FENCES

GUIDELINES

Location:

- Fencing shall not be used to delineate property boundaries but may be used to define functional areas such as children's play space, dog parks or defined garden areas. Choose semi-transparent rather than opaque screening for safety.

Height:

- Maximum of 4' height permitted
- Maximum of 6' height permitted for privacy fences. Privacy fences are appropriate only around rear yards.

Materials:

- Minimize life-cycle costs by utilizing high quality products that are durable, backed by a solid warranty and vendor reputations and are aesthetically pleasant.
- Materials must be compatible with the adjacent architecture.
- Chain link or woven fences are prohibited.
- Metal fences should be galvanized or powdercoated for durability.

APPROPRIATE



INAPPROPRIATE



WALLS

Walls may refer to freestanding walls, seat walls, retaining walls or headwalls related to drainageways.

GUIDELINES

Location:

- Walls shall not be used to delineate property boundaries but may be used to define functional areas. Choose semi-transparent rather than opaque screening for safety.
- Retaining walls shall be incorporated where necessary and serve as seat walls where possible.

Height:

- Walls intended as seat walls shall be at least 15" tall and no more than 24" tall, (18" is preferable). The depth of a seat wall shall be at least 15" when accessible from both sides from only one side and 30" minimum, (36" is preferable) when accessible from both sides.
- Retaining walls should not exceed 6' in height. Retaining walls over 6' in height, when necessary, should be terraced with room provided for landscaping.

Materials:

- Materials must be compatible with the adjacent architecture.
- Walls constructed of natural materials and masonry is preferred.

APPROPRIATE



INAPPROPRIATE



SITE GUIDELINES

LIGHTING

Site lighting quantity and quality plays an important role of security and overall confidence of Cayce Place throughout the night. Lighting should be designed to provide a safe environment without over lighting the space or creating light trespass on the adjacent neighbors. Not only should lighting satisfy requirements for vehicular use on streets, driveways and parking lots, but also address the needs of pedestrians on walkways and in public open spaces. Lighting fixture selection must help unify the aesthetics of Cayce Place. Use lighting to increase site safety in all locations used by pedestrians and to highlight landscape and architectural details.

GUIDELINES

- All outdoor light fixtures should meet Illuminating Engineering Society (IES) of North America standards.
- Streetlighting- Streetlighting shall provide uniform lighting along the full width of public right-of-way. In places where pedestrian activity is important and encouraged along the right-of-way, streetlighting pole heights and spacing shall be taken into consideration to articulate a pedestrian-scaled environment.
- The use of LED fixtures is strongly encouraged. Energy efficient lamps and the use of photocells shall be required.
- Banner-rated poles should be provided for all streetlights.
- Exterior Site Lighting - All outdoor light fixtures shall be full-cutoff, Dark Sky compliant to direct light downward and reduce light pollution. Light Control - Provide placement and fixture styles for all building and site lighting to minimize light trespass beyond the site boundary. Fixture types should be International Dark Sky Association (IDSA) approved fixtures based on the category of fixture.
- Landscape Lighting- Landscape lighting shall use LED bulbs and be directed downward. Uplighting is not permitted.



Uniform lighting along public right-of-way.



Accent lighting helps to increase site safety and highlight outdoor spaces.

SITE GUIDELINES

STREETSCAPE AND PUBLIC R.O.W.

Streetscapes that are safe, well-designed, and attractive are a key community goal. It is important for these areas to be built at a 'human-scale,' especially as people experience activity along the streets, sidewalks, and public spaces. Streetscapes are designed with special paving, landscaping, lighting, and other features that create an interesting and inviting environment. When designed and built with quality in mind, these physical elements create a positive sense of place.

GUIDELINES

- All transportation facilities in the public right-of-way shall be designed, constructed, operated and maintained to enhance environmental quality and to enable safe access for people of all ages and abilities to safely move along and across the street right-of-way, regardless of their mode of transportation.
- Refer to Complete and Green Streets Policy during design, construction and maintenance.
- Continuous sidewalks for walking to be provided along both sides of the street.
- Curb cuts and other sidewalk intrusions are to be limited.
- Connect pedestrian walkways and bicycle infrastructure with existing infrastructure, where possible to support pedestrian connections within and outside the project.
- Consider existing and future bicycle traffic so that access and connections are integrated into the project.
- Bicycle facilities should be located to maximize convenience safety and security.
- All construction within the right-of-way shall be designed in accordance with Metro Public Works standards and specifications.
- Refer to the Major Collector Street Plan where applicable.

STREETSIDE ELEMENTS Refer to SP for specifics on street cross-sections.

Pedestrian Zone-

- **Furnishing Zone-** Located between the curb and the pedestrian travelway. This zone helps to provide a buffer between pedestrians and vehicles.
- **Pedestrian Travelway-** Located between the furnishing zone and frontage zone. This zone is designed to provide unobstructed through movement of pedestrians.
- **Frontage Zone-** Located from pedestrian travelway to the property line. This zone is the ideal location for outdoor dining and display areas for nearby businesses.



A wide sidewalk is an appropriate response to an anticipated high volume of pedestrians. Weather protection, seating, plantings, and waste cans are all comfortably accommodated in the space provided.



Street designed to accommodate multiple forms of transportation. Pedestrian refuge island helps to provide safety to the pedestrian.



Curb inlets direct stormwater into bioretention facilities located within the "Furnishing Zone".



Appropriately spaced street trees help will provide

ZONING SCHEDULE

Metro Public Hearings

Kirkpatrick Park Metro Council Public Hearing – September 6th

Overall Development Planning Commission – September 22nd

Overall Development Council 1st Reading – November 1st

Overall Development Council Public Hearing – December 6th

Overall Development Council 3rd Reading – December 20th

Overall Development Effective Date – January 3rd, 2017

Kimley»Horn

